



RESIDENTIAL REPORT

1234 Main St.
Cottage Hills Illinois 62018

Buyer Name

01/11/2018 9:00AM



Inspector

Zac Knoblauch

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All components designated for inspection in the Illinois Standards of Practice are inspected, except as may be noted in the "Limitations" sections within this report. A Home Inspection is a visual-only, non-invasive inspection of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection. Cosmetic imperfections that do not significantly affect a component's performance of its intended function are also excluded from the inspection.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the inspection agreement for a full explanation of the scope of the inspection.

In the report I may recommend evaluation or repairs by professionals. It is possible that they will discover additional problems that I, as a home inspector generalist, could not. This is because they will be invasive with their evaluation and repairs. It is recommended that licensed professionals be used for repair issues as it relates to the comments in this report. Any use of the term "Qualified Professional" or "Professional" in this report relates to an individual or company that is either certified or licensed in the field of concern.

Please read: <https://rigidinspections.com/what-is-not-inspected/>

The following Summary does not contain all findings of the inspection, please read the entire report, as some issues will be listed in their corresponding section(s). Assume all items in the report to be in satisfactory condition unless otherwise noted below.

SUMMARY

- Exterior - Exterior Electrical: Light Out
- Exterior - Exterior Electrical: GFCI Not Operable
- Exterior - Siding: Deteriorating
- Exterior - Siding: Typical Cracking
- Exterior - Siding: Hole(s)
- Exterior - Exterior A/C: Insulation missing or worn
- Exterior - Exterior A/C: Wire Sheathing Torn
- Exterior - Exterior A/C: Unit Old
- Exterior - Exterior A/C: Unit not level
- Exterior - Foundation: Chipped
- Exterior - Gutters: Recommend Adding Splash Guards
- Exterior - Gutters: Debris
- Exterior - Gutters: Downspouts Terminate Near Foundation
- Exterior - Trim: Detached
- Exterior - Caulking: Windows
- Exterior - Caulking: Penetrations
- Plumbing - Sump Pump(s): Continuously Running
- Plumbing - Sump Pump(s): Recommend Battery Backup
- Plumbing - Water Heater: Recommend Raising Water Heater Off Ground
- Plumbing - Water Heater: Recommend Annual Maintenance Flush
- Electrical - Main Panel: Corrosion on Breakers
- Electrical - Main Panel: Doorbell Transformer in Panel
- Electrical - Main Panel: Double Tap
- Heating - Furnace: Replace Filter
- Attic - Attic: Vent(s) Exhausting into Attic
- Attic - Attic: Radon Mitigation System Exhausting into Attic
- Attic - Attic: Dead Bird
- Attic - Attic: Recommend Additional Insulation
- Basement - Floor: Typical Cracks
- Basement - Stairs/Steps: Handrail Not Full Length of Stairs
- Basement - Foundation: Typical Cracks
- Basement - Windows/Screens: Cracked
- Basement - Windows/Screens: Caulked Shut
- Bathroom(s) - Bathroom(s): Sink Drain Stopper Doesn't Engage
- Bathroom(s) - Bathroom(s): Bathtub Drains Slow
- Bathroom(s) - Bathroom(s): Sink Leak
- Interior - Smoke/Carbon Monoxide Detectors: Recommend Changing Batteries Every 6 Months
- Interior - Rooms: Caulk Window(s)
- Interior - Rooms: Ceiling Fan Wobbly

- Interior - Rooms: Condensation Between Window Panes
- Interior - Rooms: Floor Squeaks
- Kitchen - Kitchen: Recommend Caulking Counter Top
- Kitchen - Appliances: No Anti-Tip
- Laundry Area - Laundry Area: Dryer Lint
- Garage - Walls/Ceiling/Door: Typical Drywall Cracks
- Grounds - Vegetation, Grading & Drainage: Window Well Covers
- Grounds - Vegetation, Grading & Drainage: Trim Trees & Vegetation
- Grounds - Hose Bib(s): Shut Water Off for Winter
- Grounds - Driveway(s): Seal Gaps
- Grounds - Service Walk(s): Seal Gap
- Grounds - Service Walk(s): Trip Concern

1: INSPECTION DETAILS

Information

License Expires

November 30, 2018

Main Entrance Faces

North

In Attendance

Client

Weather Conditions

Cloudy, Recent Rain, Windy

Temperature (approximate)

46 Fahrenheit (F)

Ground Cover

Wet

Occupancy

Vacant

Year Built

1998

Approximate Square Footage

1336 Sq Ft

Type of Building

Single Family

2: GROUNDS

Information

Service Walk(s): Material

Concrete

Driveway(s): Material

Concrete

Deck(s): Material

Wood

Stoop(s)/Step(s): Material

Concrete

Limitations

Hose Bib(s)

TOO COLD

Due to it being winter and temperatures fluctuating into freezing I did not test outside faucets.

Comments

2.1.1 Service Walk(s)

TRIP CONCERN

The service walk had an area that may present a trip concern. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Safety/Major Concern



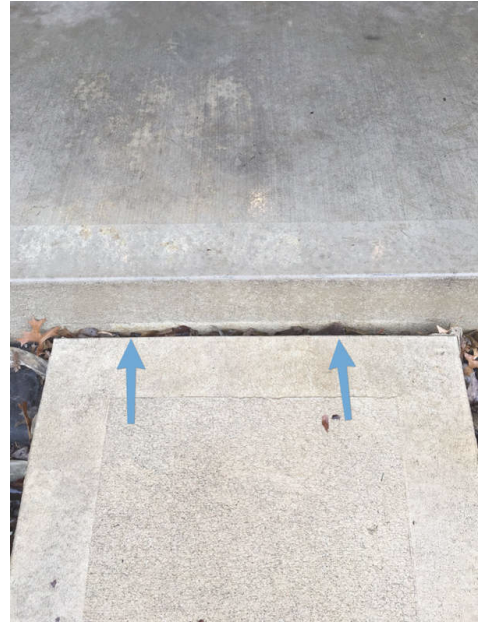
2.1.2 Service Walk(s)

SEAL GAP

As an improvement I recommend sealing the gap in the service walk.

 Maintenance Item

Recommendation
Recommended DIY Project



2.2.1 Driveway(s)

 Maintenance Item

SEAL GAPS

As an improvement I recommend sealing gaps in the driveway.

Recommendation
Contact a qualified professional.



2.5.1 Vegetation, Grading & Drainage

 Maintenance Item

TRIM TREES & VEGETATION

As an improvement I recommend trimming back trees and vegetation away from the home as they may cause damage to the home over time.

Recommendation
Recommended DIY Project



2.5.2 Vegetation, Grading & Drainage

 Maintenance Item

WINDOW WELL COVERS

As an improvement I recommend installing window well covers over the basement windows (As an FYI there were some window well covers in the attic of the house not being used).

Recommendation

Recommended DIY Project



2.6.1 Hose Bib(s)

 Maintenance Item

SHUT WATER OFF FOR WINTER

I recommend shutting the water off to all exterior hose bibs and draining the lines before winter to prevent water in the pipes from freezing and bursting the pipes.

Recommendation

Recommended DIY Project

3: EXTERIOR

Information

Gutters: Gutter Material

Aluminum

Soffit: Material

Aluminum

Windows/Screens: Type

Single-hung, Fixed Pane

Exterior Electrical: Service Entry Type

Underground

Exterior A/C: Brand

Rheem

Siding: Material

Brick, Vinyl

Fascia: Material

Aluminum

Windows/Screens: Material

Vinyl

Exterior Doors: Material

Glass, Steel

Exterior A/C: Age

21 Years Old

Exterior A/C unit manufacturers label for reference.

Trim: Material

Vinyl, Aluminum

Flashing: Material

Aluminum

Foundation: Material

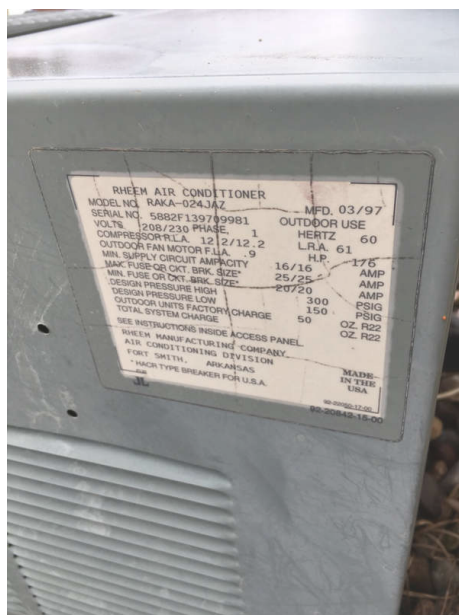
Poured Concrete

Exterior A/C: Location

Exterior West

Exterior A/C: Energy Source/Type

Electric


Exterior A/C: Max Breaker Size

25AMP

Exterior A/C: Exterior Disconnect

Yes

Comments

3.1.1 Gutters

DEBRIS

As an improvement I recommend cleaning the gutters of debris.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Recommended DIY Project





3.1.2 Gutters

DOWNSPOUTS TERMINATE NEAR FOUNDATION

WEST

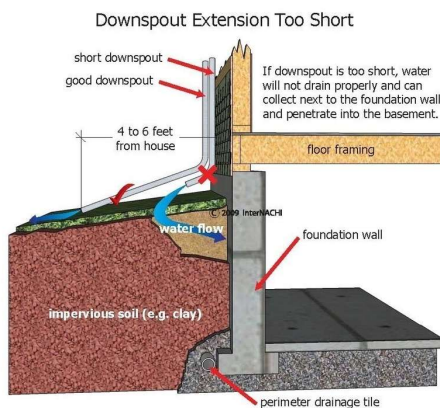
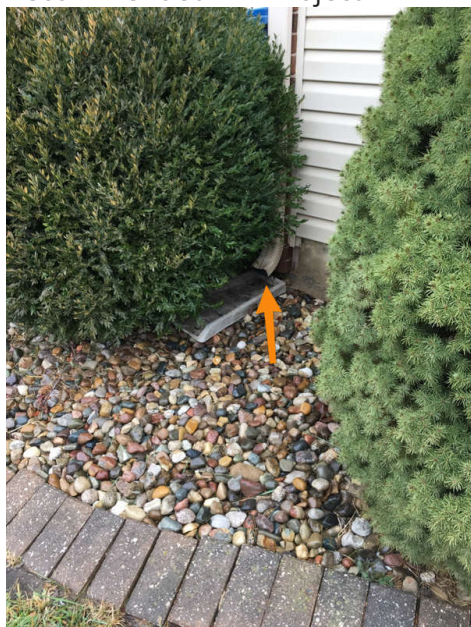
Recommended Improvement

As an improvement I recommend adding an extension(s) to the downspout(s) at least 5 feet long so water can be properly discharged away from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Recommended DIY Project



3.1.3 Gutters

RECOMMEND ADDING SPLASH GUARDS

Maintenance Item

As an improvement I recommend adding gutter splash guard(s) to corner gutter areas where water could potentially overshoot the gutters.

Recommendation

Contact a qualified professional.



Example of gutter splash guard



3.2.1 Siding

HOLE(S)

Vinyl siding had one or more holes in various areas. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Maintenance Item

3.2.2 Siding

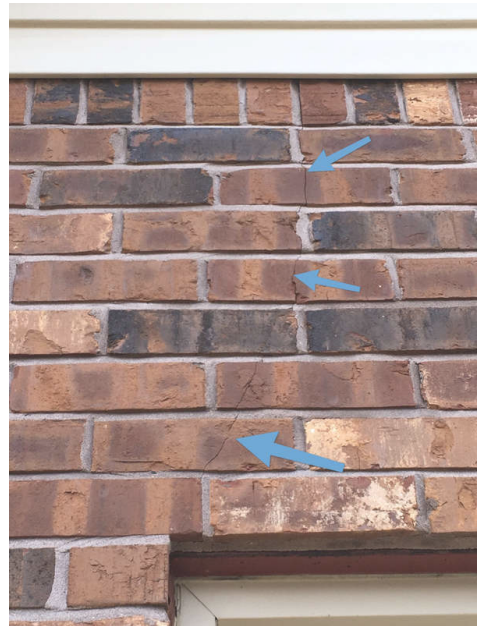
TYPICAL CRACKING

Brick veneer had typical cracking. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Maintenance Item



3.2.3 Siding

 Recommended Improvement

DETERIORATING

Wood was starting to deteriorate under window. I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.3.1 Trim

 Maintenance Item

DETACHED

REAR ENTRANCE

Trim was detached. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.7.1 Caulking

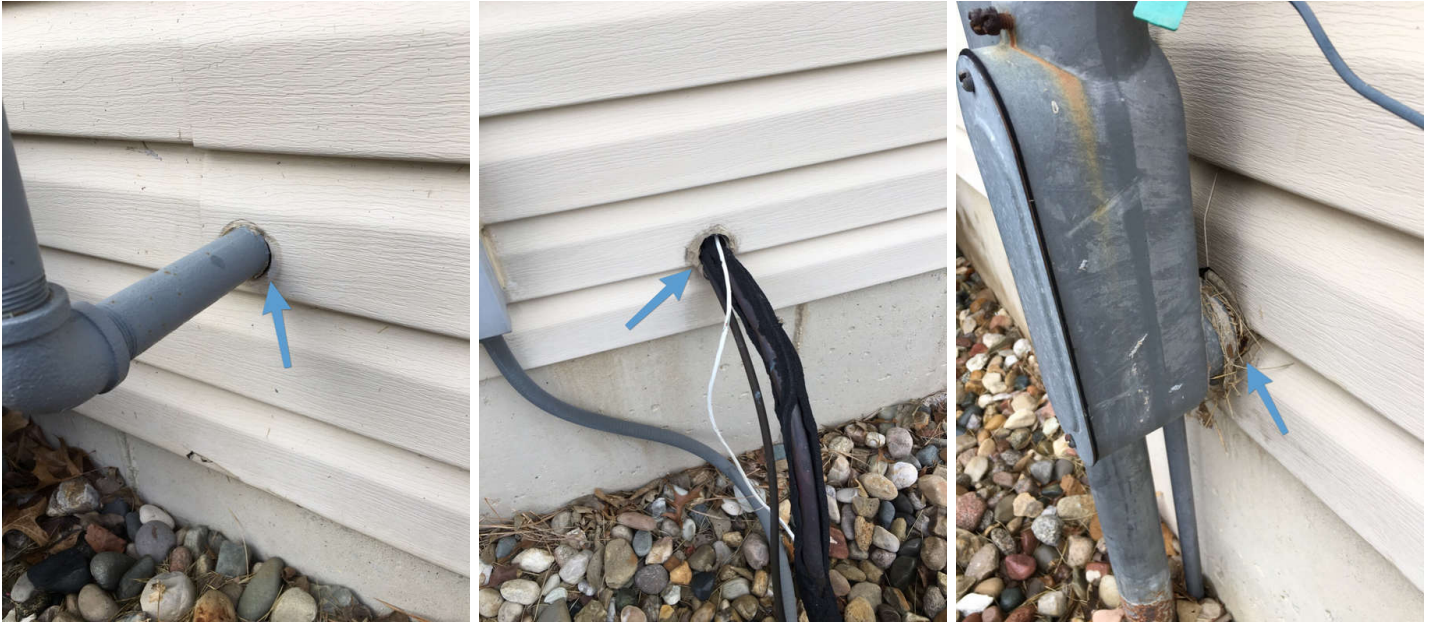
 Maintenance Item

PENETRATIONS

As an improved an improvement I recommend caulking around exterior penetrations where needed to prevent bug/moisture/air intrusion.

Recommendation

Recommended DIY Project



3.7.2 Caulking

WINDOWS

 Maintenance Item

As an improvement I recommend caulking around exterior windows on the home where needed.

[Here is a helpful DIY link for caulking.](#)

Recommendation

Recommended DIY Project



3.9.1 Foundation

CHIPPED

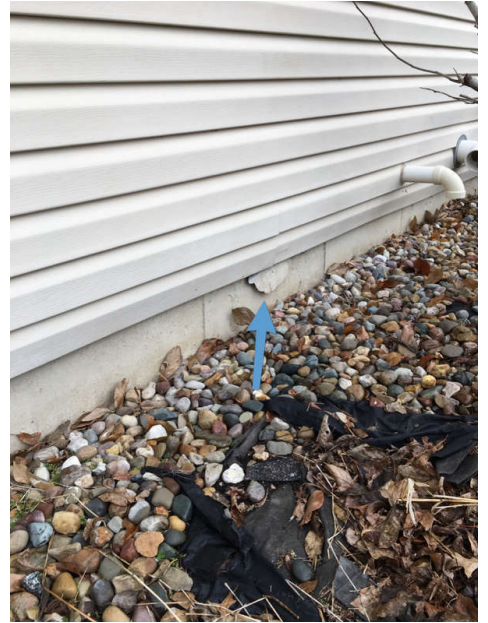
SOUTH

 Maintenance Item

An area of the foundation had a chipped piece. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.10.1 Exterior Electrical

GFCI NOT OPERABLE

SOUTH

The exterior GFCI outlet did not trip when tested. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Safety/Major Concern



3.10.2 Exterior Electrical

LIGHT OUT

SOUTH

There was a light out on the exterior of the house. As an improvement I recommend changing the bulb.

Recommendation

Recommended DIY Project

 Maintenance Item



3.12.1 Exterior A/C

 Maintenance Item

INSULATION MISSING OR WORN

Insulation on the exterior A/C refrigerant line was missing or worn. This can cause energy loss and condensation. As an improvement I recommend replacing.

[Here is a DIY article on replacing refrigerant line insulation.](#)

Recommendation

Recommended DIY Project



3.12.2 Exterior A/C

 Maintenance Item

UNIT NOT LEVEL

The outdoor A/C condensing unit was not level. This can cause accelerated deterioration of components. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.12.3 Exterior A/C

UNIT OLD

 Recommended Improvement

The exterior A/C condenser unit was near or past the normal average life for the unit. I recommend having the unit serviced by a professional and I also recommend to start budgeting for possible repair in the future.

Recommendation

Contact a qualified professional.

3.12.4 Exterior A/C

WIRE SHEATHING TORN

 Maintenance Item

Wire sheathing was torn on exterior A/C unit wiring. As an improvement I recommend wrapping some electrical tape around it.

Recommendation

Recommended DIY Project



4: ROOFING

Information

Visibility

All

Inspection Method

Roof

Material

Architectural Asphalt Shingle

Roof Type/Style

Gable

Roof Pitch

Medium

Roof Layers

One Layer

Roof Age (Approximate)

1-5+ Years

Location

Main House, Garage

Ventilation System: Type

Soffit, Ridge, Gable

Flashings: Material

Aluminum

Valleys: Material

Asphalt Shingle

Plumbing Vents: Material

Lead Wrapped

5: GARAGE

Information

Type

Attached, 2-Car

Safety Reverse: Type

Photo Eyes

Floor: Material

Concrete, Partially Visible

Sill Plates: Type

Partially Visible, Elevated

Overhead Door(s): Material

Metal

Comments

5.7.1 Walls/Ceiling/Door

 Maintenance Item

TYPICAL DRYWALL CRACKS

There were some typical drywall cracks in the garage walls/ceiling. As an improvement I recommend patching.

Recommendation

Contact a qualified professional.



6: LAUNDRY AREA

Information

Laundry Area: Dryer Energy Source

Electric

Comments

6.1.1 Laundry Area

DRYER LINT

 Maintenance Item

There was a lot of dryer lint behind the dryer which may possibly be from a bad connection to the dryer vent. I recommend making sure the dryer vent pipe is connected to the dryer properly.

Recommendation

Recommended DIY Project

7: KITCHEN

Information

Appliances: Appliances Present

Garbage Disposal, Exhaust Fan,
Microwave, Refrigerator,
Dishwasher, Electric Range

Appliances: Appliances Only Tested for Operation

Appliances are only tested for operation, working or not. Quality or extent of operation is not part of testing or inspection.

Comments

7.1.1 Kitchen



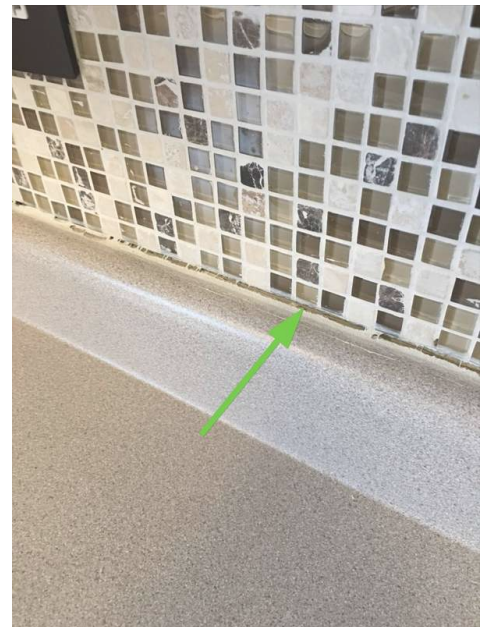
Maintenance Item

RECOMMEND CAULKING COUNTER TOP

As an improvement I recommend caulking around the kitchen counter top.

Recommendation

Recommended DIY Project



7.2.1 Appliances



Safety/Major Concern

NO ANTI-TIP

The range in the kitchen did not have an anti-tip device installed. This would prevent the oven from tipping over if a child happened to be playing on it. For improved safety I recommend installing an anti-tip device.

[Here is an article on how to install an anti-tip bracket.](#)

Recommendation

Recommended DIY Project

8: INTERIOR

Information

Rooms: Information

The interior rooms section includes any dining rooms, office rooms, living rooms, and bedrooms. If there are any issues listed, the recommendations will be tagged for the respective room.

Smoke/Carbon Monoxide

Detectors: Carbon Monoxide Detector
Present

Smoke/Carbon Monoxide

Detectors: Smoke Detector
Present

Comments

8.1.1 Rooms

FLOOR SQUEAKS

MASTER BEDROOM, LIVING ROOM

The floor squeaked in spots. This could be caused by a number of things like wood rubbing against a nail, other wood, or even duct work and piping. As an improvement I recommend having a professional evaluate and correct as needed.

[Here is a helpful DIY article on how to fix floor squeaks.](#)

Recommendation

Contact a qualified professional.

 Maintenance Item

8.1.2 Rooms

CONDENSATION BETWEEN WINDOW PANES

LIVING ROOM

There was condensation in between the window panes of the window. This is a sign of a leaking glass seal. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Recommended Improvement



8.1.3 Rooms

CEILING FAN WOBBLY

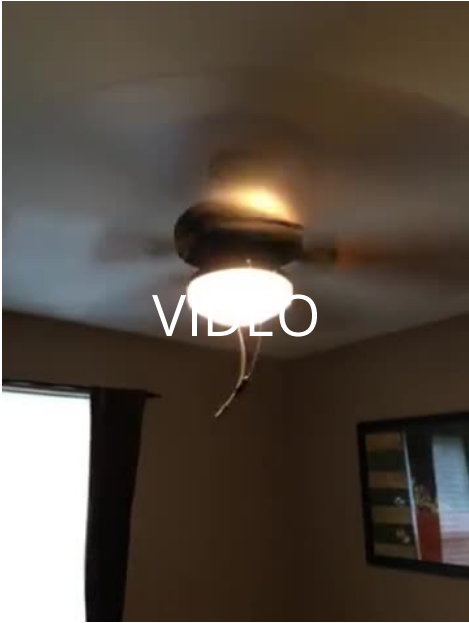
NORTHWEST BEDROOM

Ceiling fan was wobbly. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

 Recommended Improvement



8.1.4 Rooms

CAULK WINDOW(S)

As an improvement I recommend caulking around the window(s).

Recommendation

Contact a qualified professional.

 Maintenance Item



8.2.1 Smoke/Carbon Monoxide Detectors

RECOMMEND CHANGING BATTERIES EVERY 6 MONTHS

For improved safety I recommend changing smoke and carbon monoxide batteries every 6 months.

Recommendation

Recommended DIY Project

 Maintenance Item

9: BATHROOM(S)

Information

Bathroom(s): Bathtub and Shower Pipes

Not Visible

Comments

9.1.1 Bathroom(s)

SINK LEAK

MASTER BATHROOM

The bathroom sink had a leak in the drain pipes underneath. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



Recommended Improvement



9.1.2 Bathroom(s)

BATHTUB DRAINS SLOW

HALLWAY

The bathtub drains slow. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



Maintenance Item

9.1.3 Bathroom(s)

SINK DRAIN STOPPER DOESN'T ENGAGE

MASTER BATHROOM

The sink drain stopper does not engage properly. As an improvement I recommend having a professional evaluate and correct as needed.

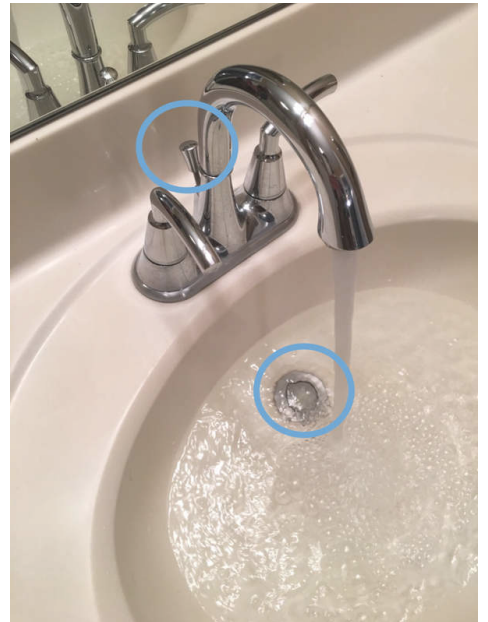
[Here is a helpful DIY article on how to fix a sink stopper.](#)

Recommendation



Maintenance Item

Contact a qualified professional.



10: BASEMENT

Information

Windows/Screens: Type

Hopper

Windows/Screens: Material

Metal

Foundation: Material

Poured Concrete

Foundation: Covered Walls

North

Floor: Material

Concrete

Floor: Drainage

Floor Drains, Sump Pump,
Dehumidifier Present

Girders/Beams: Material

Steel

Columns: Material

Steel

Joists: Material

Wood, 2x10

Subfloor: Material

Plywood

Comments

10.1.1 Stairs/Steps

HANDRAIL NOT FULL LENGTH OF STAIRS

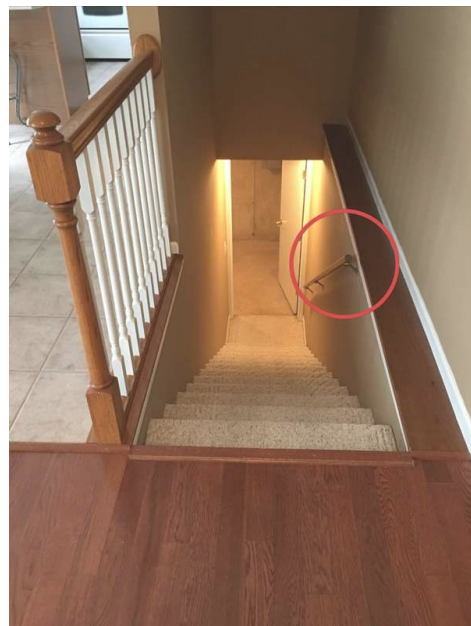


Safety/Major Concern

The handrail was not the full length of the stairs, it was not within reach on the first 3-4 steps. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



10.2.1 Windows/Screens

CAULKED SHUT

BASEMENT EAST



Maintenance Item

Window was caulked shut. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



10.2.2 Windows/Screens

 Recommended Improvement

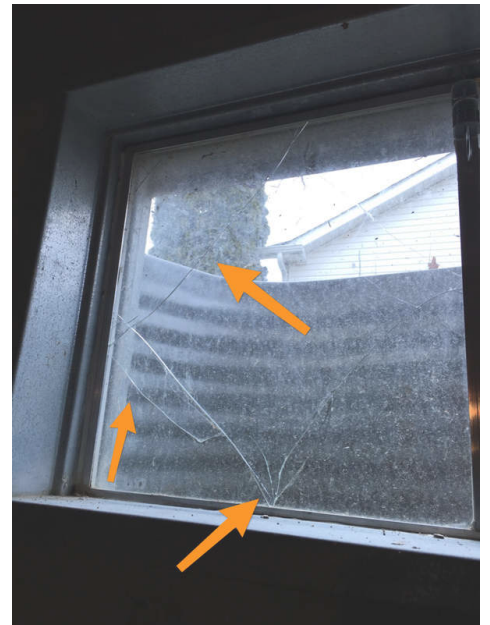
CRACKED

BASEMENT EAST

Window pane had cracks. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



10.3.1 Foundation

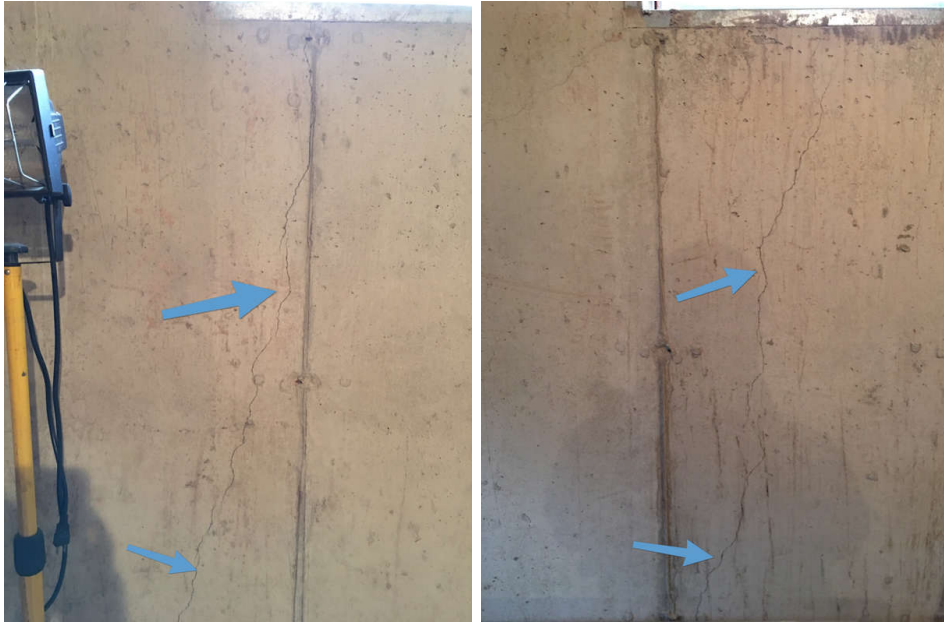
 Maintenance Item

TYPICAL CRACKS

Foundation wall had typical cracks. As an improvement I recommend having a professional evaluate and patch/seal.

Recommendation

Contact a qualified professional.



10.4.1 Floor

 Maintenance Item

TYPICAL CRACKS

The basement floor had typical cracks. As an improvement I recommend having a professional evaluate and seal as needed.

[Here is a helpful DIY video on sealing cracks.](#)

Recommendation

Contact a qualified professional.



11: ATTIC

Information

Attic: Location

Garage

Attic access for reference.

Attic: Access

Scuttlehole/Hatch

Attic: Inspected from

In the Attic



Attic: Flooring

None

Attic: Insulation Type

Fiberglass, Batts

Attic: Insulation Installed In

Between Ceiling Joists

Attic: Insulation Depth

8 Inches

Attic: Vapor Barrier

Kraft Paper

Attic: Roof Structure

Trusses, Wood

Attic: Ceiling Joists

Wood

Attic: Sheathing

OSB

Comments

11.1.1 Attic

RECOMMEND ADDITIONAL INSULATION



Maintenance Item

As an improvement I recommend having a professional evaluate and add more insulation as needed.

Recommendation

Contact a qualified professional.

11.1.2 Attic

VENT(S) EXHAUSTING INTO ATTIC



Recommended Improvement

The bathroom exhaust vents were exhausting directly into the attic. This is not recommended as the warm moist air could cause mold/mildew and deteriorate structural members in the attic over time. As an improvement I recommend having the bathroom exhaust(s) routed to a roof, gable or soffit vent so it can be exhausted outside.

Recommendation

Contact a qualified professional.



11.1.3 Attic

DEAD BIRD

 Recommended Improvement

There was a dead bird in the attic above where the hallway is. I recommend having it removed.

Recommendation

Contact a qualified professional.



11.1.4 Attic

RADON MITIGATION SYSTEM EXHAUSTING INTO ATTIC

 Safety/Major Concern

The radon mitigation system appeared to be exhausting into the attic. The exhaust should exhaust through the roof. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



12: PLUMBING

Information

Water Service: Water Source
Public

Water Service: Main Water Shut-Off Device (Location)
Basement, North Wall
Main water shut off for reference.

Water Service: Material - Water Entry
Polyethylene



Water Service: Material - Water Distribution
Copper

Water Service: Material - Water Drainage
PVC

Fuel Service: Main Fuel Shut-Off (Location)
Exterior East Side of House
Main fuel shutoff for reference.



Fuel Service: Material - Fuel Distribution

Black Iron

Water Heater: Manufacturer
Whirlpool

Water Heater: Capacity
50 Gallons

Water Heater: Year Manufactured

2007

Water Heater: Power Source
Electric

Water Heater: Water Temperature

113 Degrees Fahrenheit

Water heater manufacturers label for reference.



Comments

12.3.1 Water Heater

Maintenance Item

RECOMMEND ANNUAL MAINTENANCE FLUSH

Water heaters should be flushed annually to prevent sediment buildup and maintain efficiency. As an improvement I recommend flushing the water heater.

[Here is a DIY link to help .](#)

Recommendation

Recommended DIY Project

12.3.2 Water Heater

Recommended Improvement

RECOMMEND RAISING WATER HEATER OFF GROUND

As an improvement and to help keep the water heater from rusting prematurely I recommend raising the water heater off the ground a few inches on a support.

Recommendation

Contact a qualified professional.



12.4.1 Sump Pump(s)

Recommended Improvement

RECOMMEND BATTERY BACKUP

I recommend installing a battery backup for the sump pump in case of a power outage.

Recommendation

Contact a qualified professional.

12.4.2 Sump Pump(s)

Recommended Improvement

CONTINUOUSLY RUNNING

The sump pump was not plugged in. I plugged it in and it was continuously running (may be due to high water table in the area). As an improvement I recommend having a professional evaluate and correct as needed. (May just need to adjust the float to a higher position)

Recommendation

Contact a qualified professional.

13: HEATING

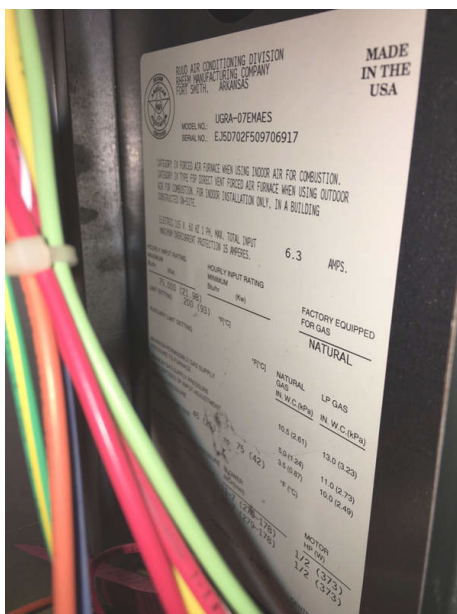
Information

Furnace: Brand
Ruud

Furnace: Year Manufactured
1997

Furnace: Energy Source
Gas

Furnace manufacturers label for reference.



Furnace: Filter Type
Disposable

Furnace: Distribution
Metal Duct, Duct Board, Flex Duct, Not Insulated

Furnace: Heat Type
Forced Air, Central System

Furnace: Temperature Blowing Out
115 °F

Comments

13.1.1 Furnace

REPLACE FILTER

The furnace filter was dirty. As an improvement I recommend changing it out with a new one.

Recommendation

Recommended DIY Project



14: AIR CONDITIONING

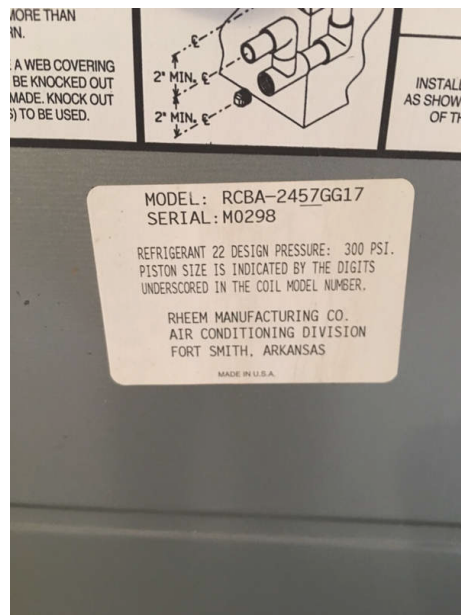
Information

Air Conditioning: Brand
Rheem

Air Conditioning: Type
Air Conditioner, Central System

Air Conditioning: Year Manufactured
1998

A/C evaporator manufacturers label for reference.



Air Conditioning: Condensate Line Drains To
Floor Drain

Limitations

Air Conditioning

NOT INSPECTED - LOW TEMPERATURE

The A/C system was not tested as the outdoor temperature was too low and it could damage the unit.

15: ELECTRICAL

Information

Main Panel: Main Electrical Panel Location

Basement, West Wall

Main electrical panel location for reference.



Main Panel: Main Electrical Shutoff

Top part of panel

Main electrical shutoff for reference.



Main Panel: Amperage/Voltage

120v/240v, 200AMP

Main Panel: Panel Type

Breakers

Main Panel: Panel Manufacturer

T&B

Main Panel: Main Wire

Copper

Main Panel: Branch Wire

Copper

Main Panel: Wiring Method

Romex

Comments

15.1.1 Main Panel

DOUBLE TAP

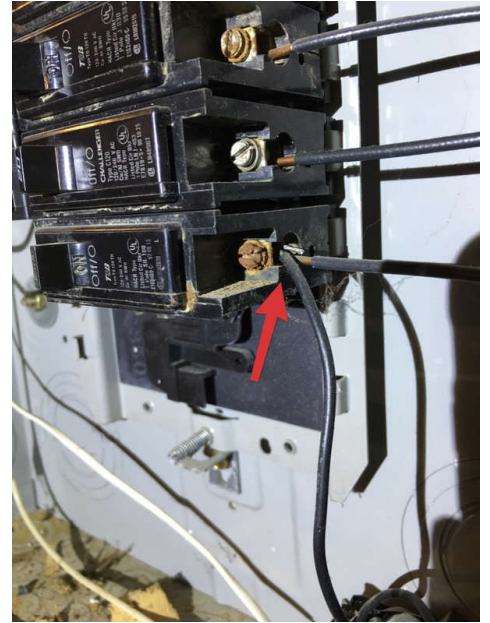


Safety/Major Concern

There was a double tap on a breakers in the electrical panel. This means there are two wires under the same screw on a single breaker. This can cause a loose connection of the wires with the breaker. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



15.1.2 Main Panel



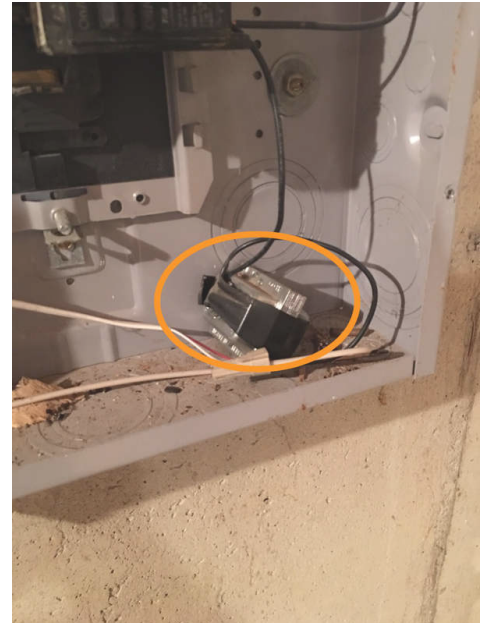
Recommended Improvement

**DOORBELL TRANSFORMER
IN PANEL**

The doorbell transformer was sitting in the electrical panel. This is not recommended as it should be mounted outside of the electrical panel. I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



15.1.3 Main Panel



Recommended Improvement

CORROSION ON BREAKERS

There was some corrosion on a couple of breakers in the electrical panel. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

