



All components designated for inspection in the Illinois Standards of Practice are inspected, except as may be noted in the "Limitations" sections within this report. A Home Inspection is a visual-only, non-invasive inspection of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection. Cosmetic imperfections that do not significantly affect a component's performance of its intended function are also excluded from the inspection.

The following Summary does not contain all findings of the inspection, please read the entire report, as some issues will be listed in their corresponding section(s). Assume all items in the report to be in satisfactory condition unless otherwise noted below.

2.1.1 Service Walk(s)

TRIP CONCERN



Safety/Major Concern

The service walk had an area that may present a trip concern. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.1.1 Gutters

DOWNSPOUTS TERMINATE NEAR FOUNDATION



Recommended Improvement

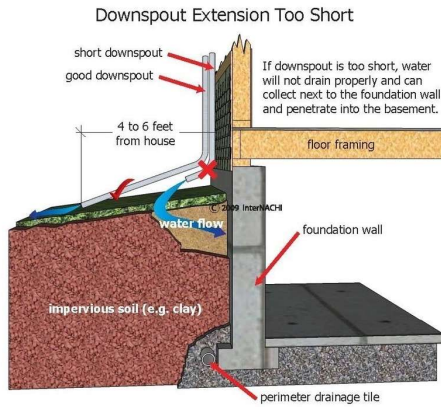
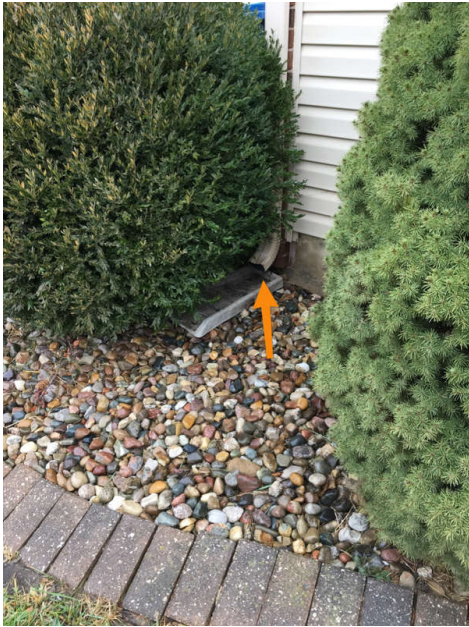
WEST

As an improvement I recommend adding an extension(s) to the downspout(s) at least 5 feet long so water can be properly discharged away from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Recommended DIY Project



3.2.1 Siding

DETERIORATING

 Recommended Improvement

Wood was starting to deteriorate under window. I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.10.1 Exterior Electrical

GFCI NOT OPERABLE

 Safety/Major Concern

SOUTH

The exterior GFCI outlet did not trip when tested. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



3.12.1 Exterior A/C

UNIT OLD

 Recommended Improvement

The exterior A/C condenser unit was near or past the normal average life for the unit. I recommend having the unit serviced by a professional and I also recommend to start budgeting for possible repair in the future.

Recommendation

Contact a qualified professional.

7.2.1 Appliances

NO ANTI-TIP

 Safety/Major Concern

The range in the kitchen did not have an anti-tip device installed. This would prevent the oven from tipping over if a child happened to be playing on it. For improved safety I recommend installing an anti-tip device.

[Here is an article on how to install an anti-tip bracket.](#)

Recommendation

Recommended DIY Project

8.1.1 Rooms

CONDENSATION BETWEEN WINDOW PANES

 Recommended Improvement

LIVING ROOM

There was condensation in between the window panes of the window. This is a sign of a leaking glass seal. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



8.1.2 Rooms

CEILING FAN WOBBLY

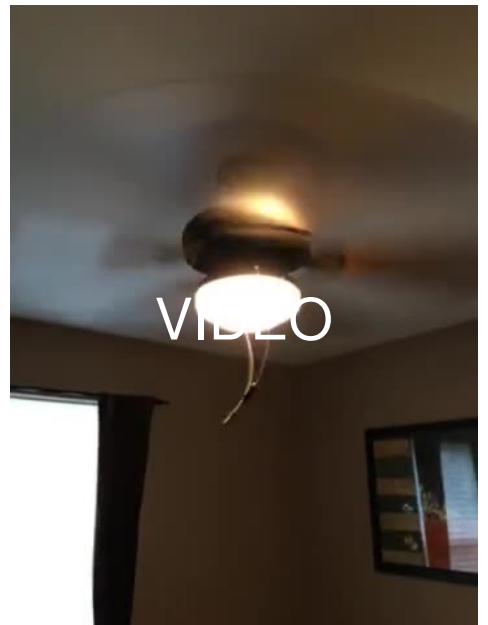
 Recommended Improvement

NORTHWEST BEDROOM

Ceiling fan was wobbly. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



9.1.1 Bathroom(s)

SINK LEAK

 Recommended Improvement

MASTER BATHROOM

The bathroom sink had a leak in the drain pipes underneath. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



10.1.1 Stairs/Steps

HANDRAIL NOT FULL LENGTH OF STAIRS

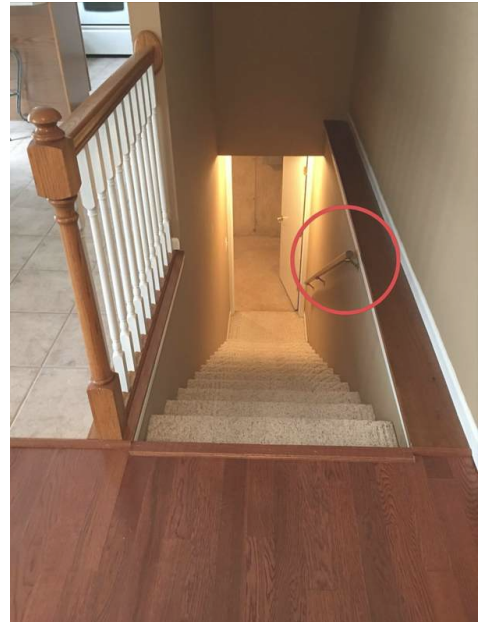


Safety/Major Concern

The handrail was not the full length of the stairs, it was not within reach on the first 3-4 steps. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



10.2.1 Windows/Screens

CRACKED



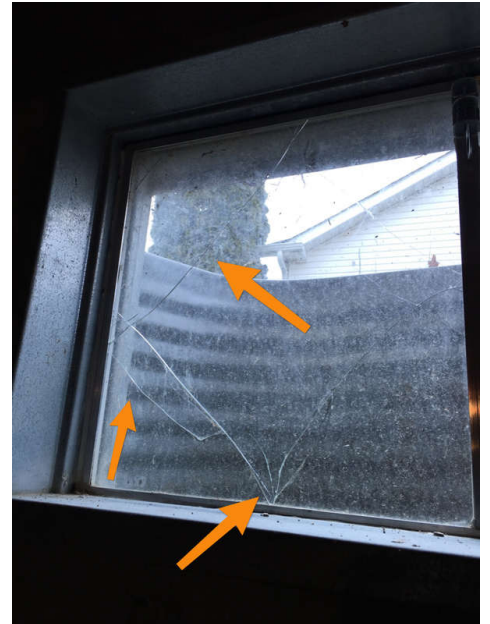
Recommended Improvement

BASEMENT EAST

Window pane had cracks. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



11.1.1 Attic

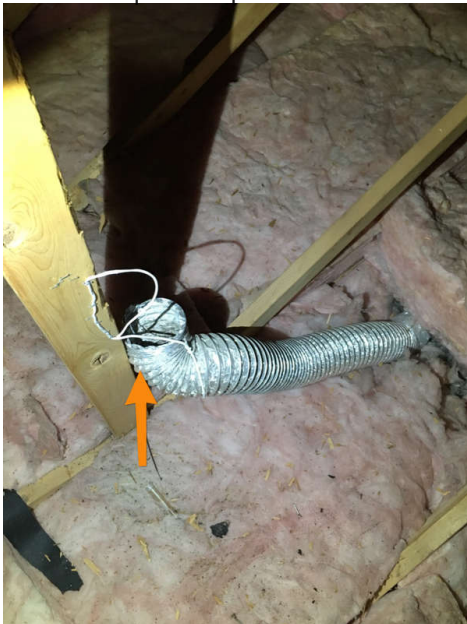
VENT(S) EXHAUSTING INTO ATTIC

Recommended Improvement

The bathroom exhaust vents were exhausting directly into the attic. This is not recommended as the warm moist air could cause mold/mildew and deteriorate structural members in the attic over time. As an improvement I recommend having the bathroom exhaust(s) routed to a roof, gable or soffit vent so it can be exhausted outside.

Recommendation

Contact a qualified professional.



11.1.2 Attic

DEAD BIRD

Recommended Improvement

There was a dead bird in the attic above where the hallway is. I recommend having it removed.

Recommendation

Contact a qualified professional.



11.1.3 Attic

RADON MITIGATION SYSTEM EXHAUSTING INTO ATTIC



Safety/Major Concern

The radon mitigation system appeared to be exhausting into the attic. The exhaust should exhaust through the roof. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



12.3.1 Water Heater

RECOMMEND RAISING WATER HEATER OFF GROUND

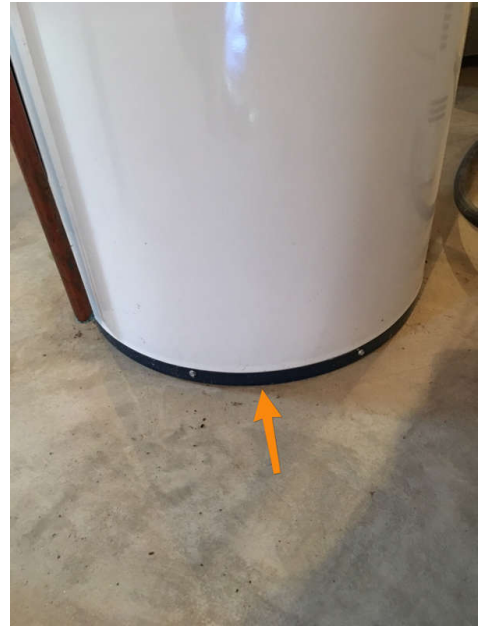


Recommended Improvement

As an improvement and to help keep the water heater from rusting prematurely I recommend raising the water heater off the ground a few inches on a support.

Recommendation

Contact a qualified professional.



12.4.1 Sump Pump(s)

RECOMMEND BATTERY BACKUP

 Recommended Improvement

I recommend installing a battery backup for the sump pump in case of a power outage.

Recommendation

Contact a qualified professional.

12.4.2 Sump Pump(s)

CONTINUOUSLY RUNNING

 Recommended Improvement

The sump pump was not plugged in. I plugged it in and it was continuously running (may be due to high water table in the area). As an improvement I recommend having a professional evaluate and correct as needed. (May just need to adjust the float to a higher position)

Recommendation

Contact a qualified professional.

15.1.1 Main Panel

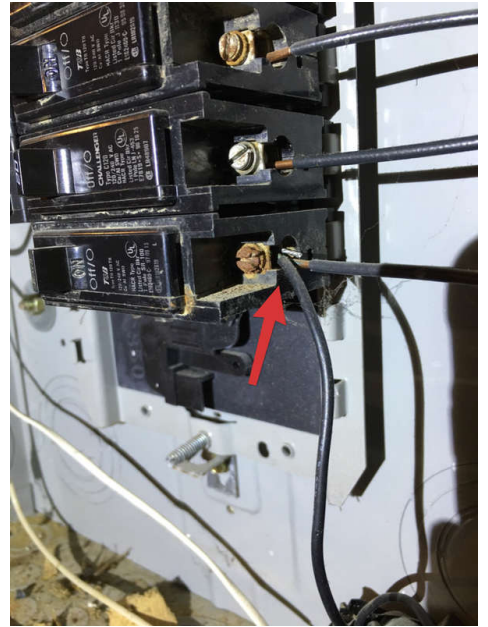
DOUBLE TAP

 Safety/Major Concern

There was a double tap on a breakers in the electrical panel. This means there are two wires under the same screw on a single breaker. This can cause a loose connection of the wires with the breaker. For improved safety I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



15.1.2 Main Panel

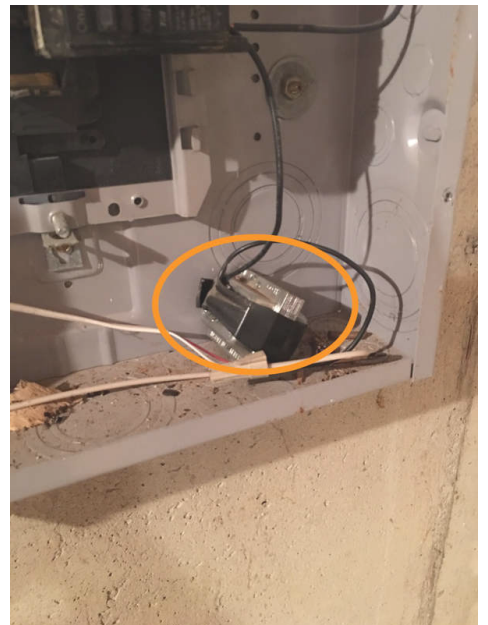
**DOORBELL TRANSFORMER
IN PANEL**

 Recommended Improvement

The doorbell transformer was sitting in the electrical panel. This is not recommended as it should be mounted outside of the electrical panel. I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.



15.1.3 Main Panel

CORROSION ON BREAKERS

 Recommended Improvement

There was some corrosion on a couple of breakers in the electrical panel. As an improvement I recommend having a professional evaluate and correct as needed.

Recommendation

Contact a qualified professional.

